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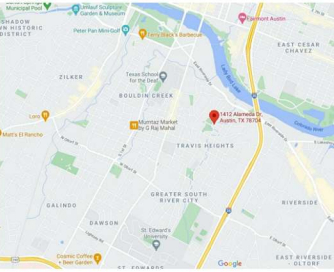
PROJECT INFORMATION

**PROJECT DESCRIPTION**  
REMODEL AND ADDITION TO A SPLIT-LEVEL RESIDENCE IN THE CITY OF AUSTIN

**LEGAL DESCRIPTION**  
LOT 5, BLOCK 4 OF TRAVIS HEIGHTS, A SUBDIVISION IN AUSTIN, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 3 PAGE 15 OF THE PLAT RECORD OF TRAVIS COUNTY, TEXAS. (TCAD PARCEL #282923)

**ZONING**  
SF-3-NP - SINGLE-FAMILY RESIDENTIAL  
RESIDENTIAL DESIGN STANDARDS (MCMANSION)  
SOUTH RIVER CITY NEIGHBORHOOD PLANNING AREA

VICINITY MAP



GENERAL PROJECT NOTES

PERFORM ALL WORK IN ACCORDANCE WITH THE CITY OF AUSTIN CODES, REGULATIONS & ORDINANCES

DO NOT SCALE DRAWING, CONTACT ARCHITECT UPON DISCOVERY OF MISSING INFORMATION OR CONFLICTS IN DRAWINGS

STRUCTURAL ENGINEERING FOR ALL PARTS OF THIS PROJECT TO BE DESIGNED BY OTHERS

MECH, ELEC, PLUMB & FIRE ENGINEERING TO BE PROVIDED BY OTHERS, MAY REQUIRE COORDINATION WITH ARCHITECT

VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION START

FIRE PROTECTION

THIS PROJECT DOES NOT EXCEED 3,600 SF AND THEREFORE IS NOT REQUIRED TO BE REVIEWED BY THE FIRE DEPARTMENT

CONTACTS

**CLIENT**  
BEN & ANNA HALLMARK

**ARCHITECT**  
CVMA  
CONTACT: CAROLYN VAN METER  
E-MAIL: CAROLYN@CVMARCHITECTURE.COM  
PHONE: 512.740.8595

**CONTRACTOR:**  
-NAME:  
CONTACT:  
E-MAIL:  
PHONE:

**STRUCTURAL ENGINEER:**  
STEINMAN LUEVANO STRUCTURES  
CONTACT: DREW CAVE  
E-MAIL: DREW@SLSTRUCTURES.COM  
PHONE: 512.891.6766

**INTERIOR DESIGNER:**  
-NAME:  
CONTACT:  
E-MAIL:  
PHONE:

SYMBOLS LEGEND

1

View Name

1/8" = 1'-0"

DRAWING TITLE

DRAWING NUMBER

Room name

??? CLG.

??? FLOOR

1

A1.0

ROOM NAME

- CEILING HEIGHT

- FLOOR MATERIAL

ELEVATION MARKER

L

1

A101

SIM

BUILDING SECTION MARKER

1

A101

SIM

WALL SECT./DETAIL MARKER

Name

Elevation

1

LEVEL MARKER

1

KEY NOTE

101

DOOR NUMBER

A

WINDOW KEY

CL

CENTERLINE

1

REVISION NUMBER

DROP

1

FLOOR DROP

N

NORTH ARROW

DRAWING INDEX

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S4	DETAILS
S5	BRACE WALL PLANS
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DRAWINGS AT 50% SCALE IF PRINTED ON 11X17 PAPER

CVMA

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carolyn@cvmarchitecture.com  
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8.28.21

HALLMARK  
RESIDENCE

1412 ALAMEDA DR.  
AUSTIN, TEXAS 78704

ISSUE DATES:

PRICING SET	6.29.21
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A0.0

COVER SHEET

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TREE PROTECTION NOTES

**CRITICAL ROOT ZONE (CRZ) IMPACTS:**

A MINIMUM OF 50% OF THE CRZ MUST BE PRESERVED AT NATURAL GRADE, WITH NATURAL GROUND COVER.

NO CUT OR FILL GREATER THAN 4" WILL BE LOCATED CLOSER TO THE TREE TRUNK THAN 1/2 THE CRZ RADIUS DISTANCE AS SHOWN ON PLAN.

NO CUT OR FILL WILL BE LOCATED CLOSER TO THE TREE TRUNK THAN 1/4 THE CRZ RADIUS DISTANCE AS SHOWN ON PLAN.

TEMPORARY TREE PROTECTION FENCING IS REQUIRED FOR ALL TREES TO BE PRESERVED WITHIN THE LIMITS OF CONSTRUCTION.

PROTECTIVE FENCES SHALL BE INSTALLED PRIOR TO THE START OF ANY SITE PREPARATION WORK, AND SHALL BE MAINTAINED THROUGHOUT ALL PHASES OF THE CONSTRUCTION PROJECT.

PROTECTIVE FENCES SHALL SURROUND THE TREES OR GROUPS OF TREES, AND WILL BE LOCATED AT THE OUTERMOST LIMIT OF BRANCHES (DRIP/FULL CRZ) OR AS MUCH OF THE CRZ AS IS PRACTICAL.

FENCING IS REQUIRED TO BE CHAIN LINK MESH AT A MINIMUM OF 5' HIGH.

**DEVIATION FROM MINIMUM CRITERIA.**

EXCEPTIONS TO INSTALLING FENCES AT TREE DRIP LINES MAY BE PERMITTED IN THE FOLLOWING CASES: WHERE THERE IS TO AN APPROVED GRADE CHANGE, IMPERMEABLE PAVING SURFACE, TREE WELL, OR OTHER SUCH SITE DEVELOPMENT, ERECT THE FENCE APPROXIMATELY 2-4 FEET BEYOND THE AREA DISTURBED.

WHERE PERMEABLE PAVING IS TO BE INSTALLED WITHIN A TREE'S DRIP LINE, ERECT THE FENCE AT THE OUTER LIMITS OF THE PERMEABLE PAVING AREA (PRIOR TO SITE GRADING SO THAT THIS AREA IS GRADED SEPARATELY PRIOR TO PAVING INSTALLATION TO MINIMIZE ROOT DAMAGE);

WHERE TREES ARE CLOSE TO PROPOSED BUILDINGS, ERECT THE FENCE TO ALLOW 6-10 FEET OF WORK SPACE BETWEEN THE FENCE AND THE BUILDING;

WHERE THERE ARE SEVERE SPACE CONSTRAINTS DUE TO TRACT SIZE, OR OTHER SPECIAL REQUIREMENTS, CONTACT THE CITY ARBORIST TO DISCUSS ALTERNATIVES.

WHERE ANY OF THE ABOVE EXCEPTIONS RESULT IN A FENCE BEING CLOSER THAN 5' TO THE TREE TRUNK, PROTECT THE TRUNK AND ROOT FLARES WITH STRAPPED-ON 2x4 PLANKING TO A HEIGHT OF 8' (OR THE LIMITS OF LOWER BRANCHING) IN ADDITION TO THE REDUCED FENCING PROVIDED.

WHEN THE TREE PROTECTION FENCING CANNOT INCORPORATE THE ENTIRE 1/2 CRZ, AN 8" LAYER OF MULCH WITHIN THE ENTIRE AVAILABLE ROOT ZONE AREA IS REQUIRED.

**CROWN IMPACTS.**

NO MORE THAN 25% OF THE FOLIAGE SHOULD BE REMOVED WITHIN AN ANNUAL GROWING SEASON. WHERE MORE THAN 25% IS REQUESTED, A TREE PERMIT IS REQUIRED.

TREE LIST

11

39.5" OAK

12

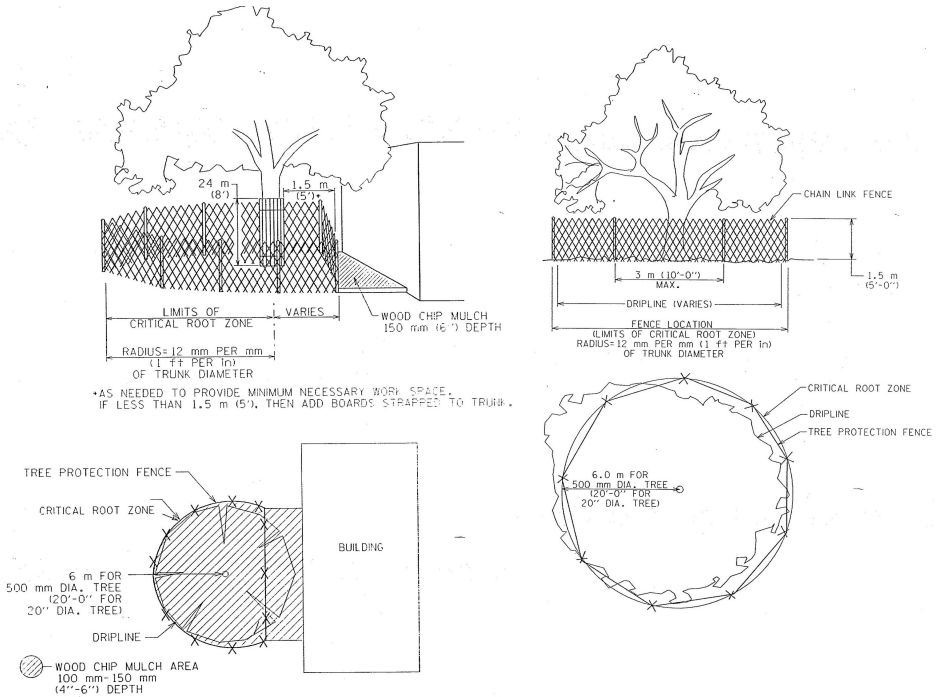
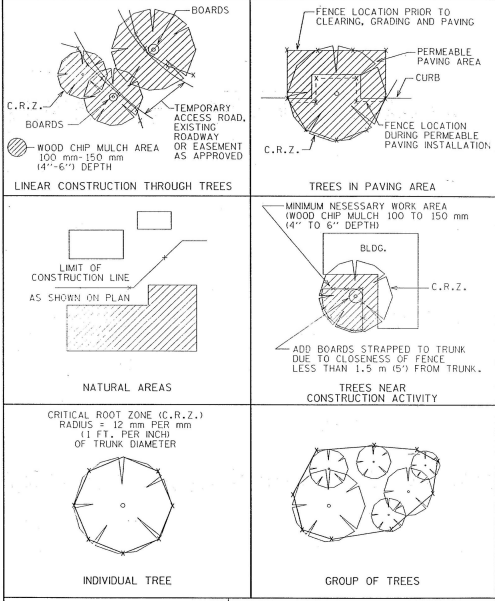
42" OAK

13

7" HACKBERRY

14

10.5" HACKBERRY



SITE PLAN LEGEND

EXISTING TO BE REMODELED

NEW ADDITION

PROPERTY LINE

SETBACK LINE

MCMANSION INTERVAL LINE

OUTLINE OF ROOF

CONSTRUCTION STAGING

PROTECTIVE MULCHED AREA

SITE PLAN NOTES

1. CONTRACTOR RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS

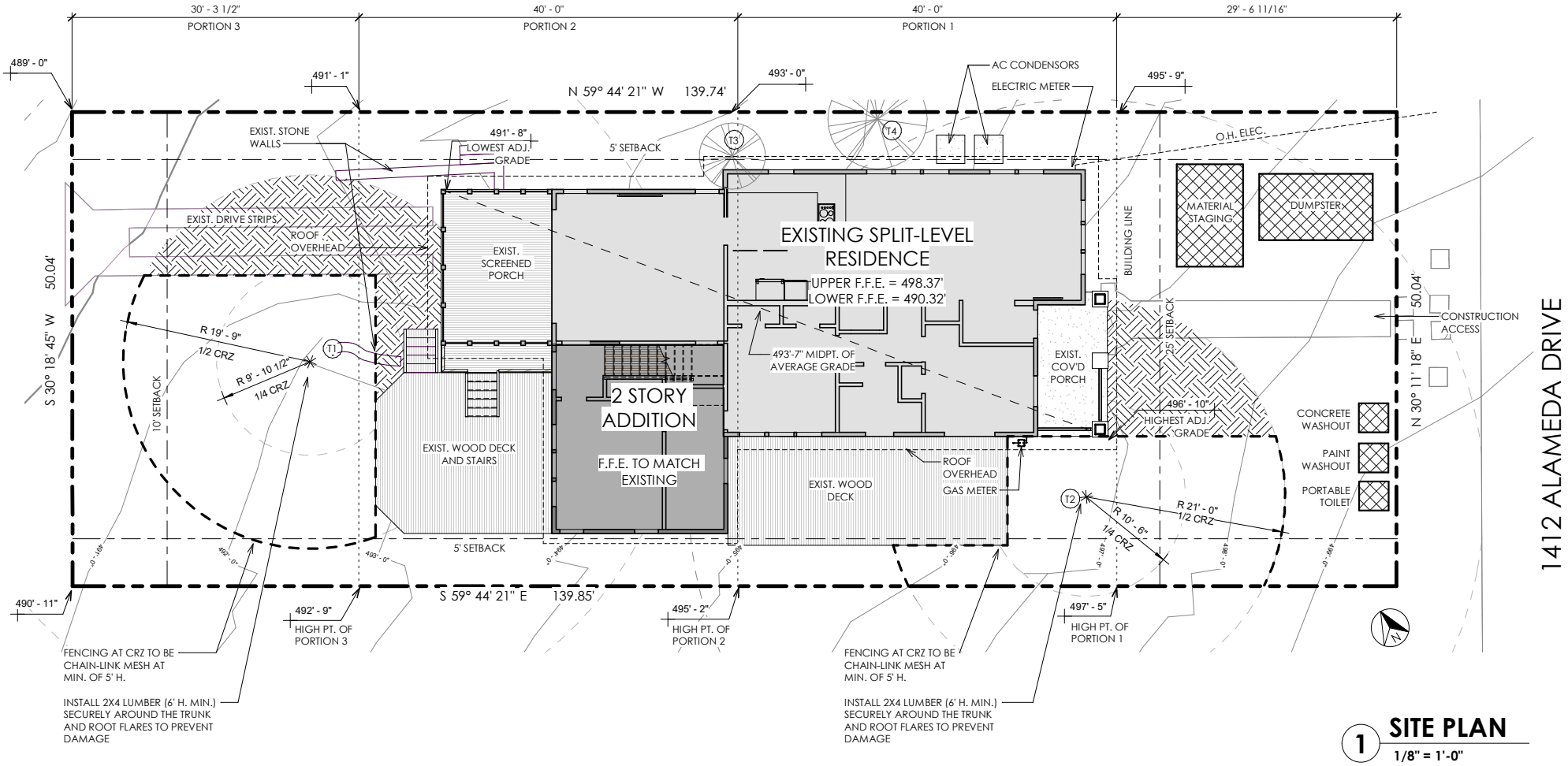
2. BUILDER TO REGRADE TOPO/FINISH GRADE TO PROVIDE PROPER DRAINAGE AWAY FROM BUILDING

3. CIVIL ENGINEERING & LANDSCAPING BY OTHERS

4. SITE PLAN IS DRAWN FROM INFORMATION ON SURVEY PROVIDED BY OWNER

5. ONLY TREES 1" DIAMETER AND GREATER ARE SHOWN ON SITE PLAN WITH CRITICAL ROOT ZONE DIAGRAMS

6. SIDEWALK INSTALLATION REQUIRED. GROSS FLOOR AREA INCREASED BY MORE THAN 50%. PAYMENT TO BE MADE IN LIEU OF SIDEWALK INSTALLATION



1 SITE PLAN  
1/8" = 1'-0"

DRAWINGS AT 50% SCALE IF PRINTED ON 11X17 PAPER

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REGISTERED ARCHITECT

CAROLYN VAN METER

24997

STATE OF TEXAS

# HALLMARK RESIDENCE

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AUSTIN, TEXAS 78704

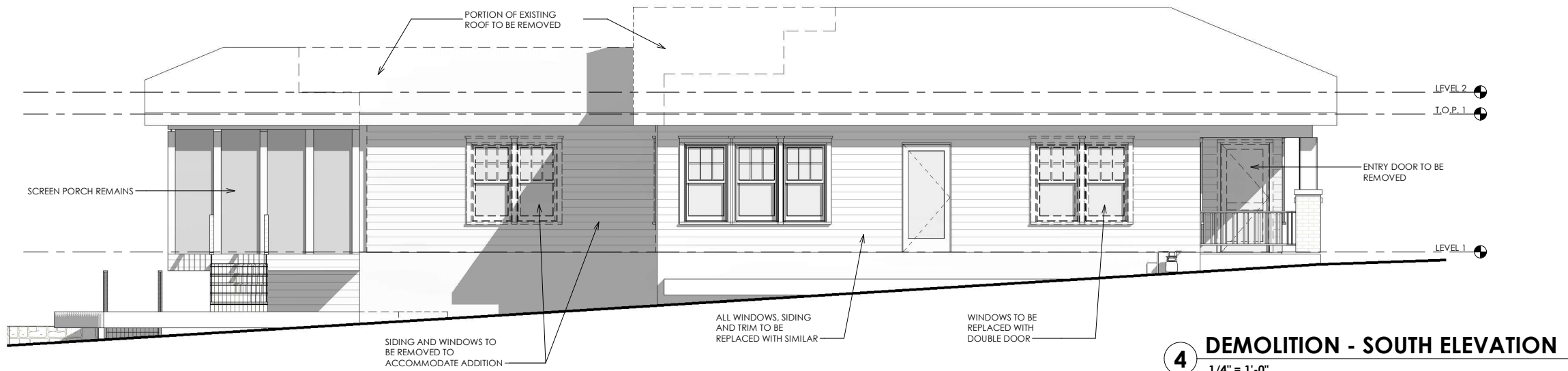
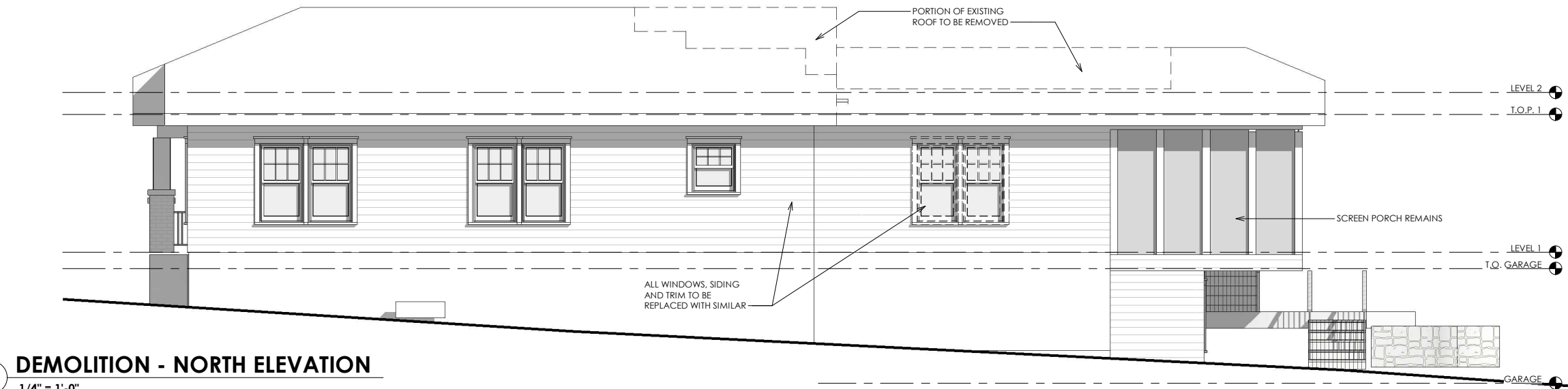
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## A1.1

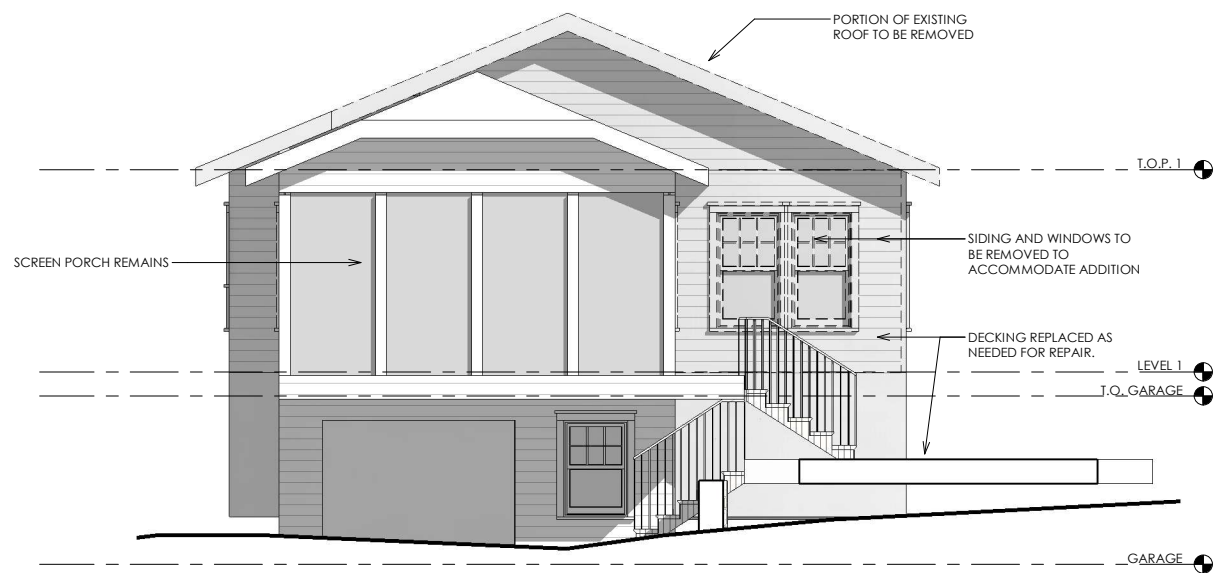
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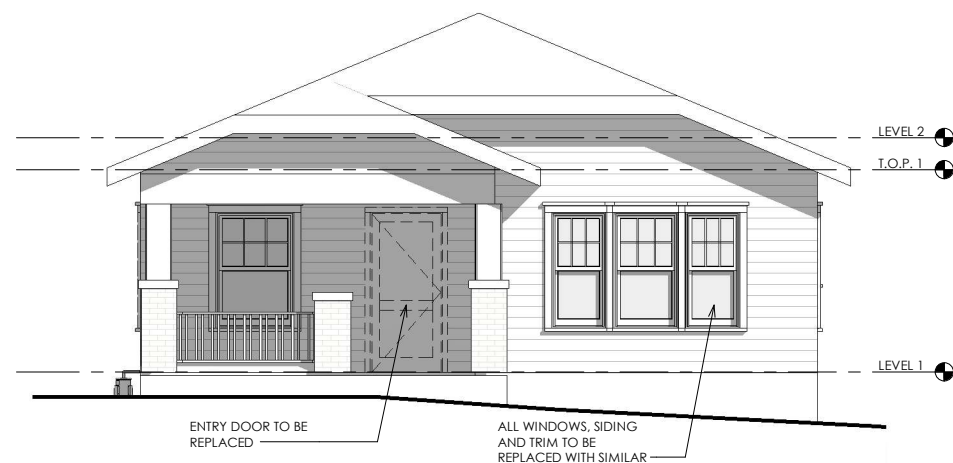
**2 DEMOLITION - NORTH ELEVATION**  
1/4" = 1'-0"



**4 DEMOLITION - SOUTH ELEVATION**  
1/4" = 1'-0"



**3 DEMOLITION - WEST ELEVATION (REAR)**  
1/4" = 1'-0"



**1 DEMOLITION - EAST ELEVATION (FRONT)**  
1/4" = 1'-0"

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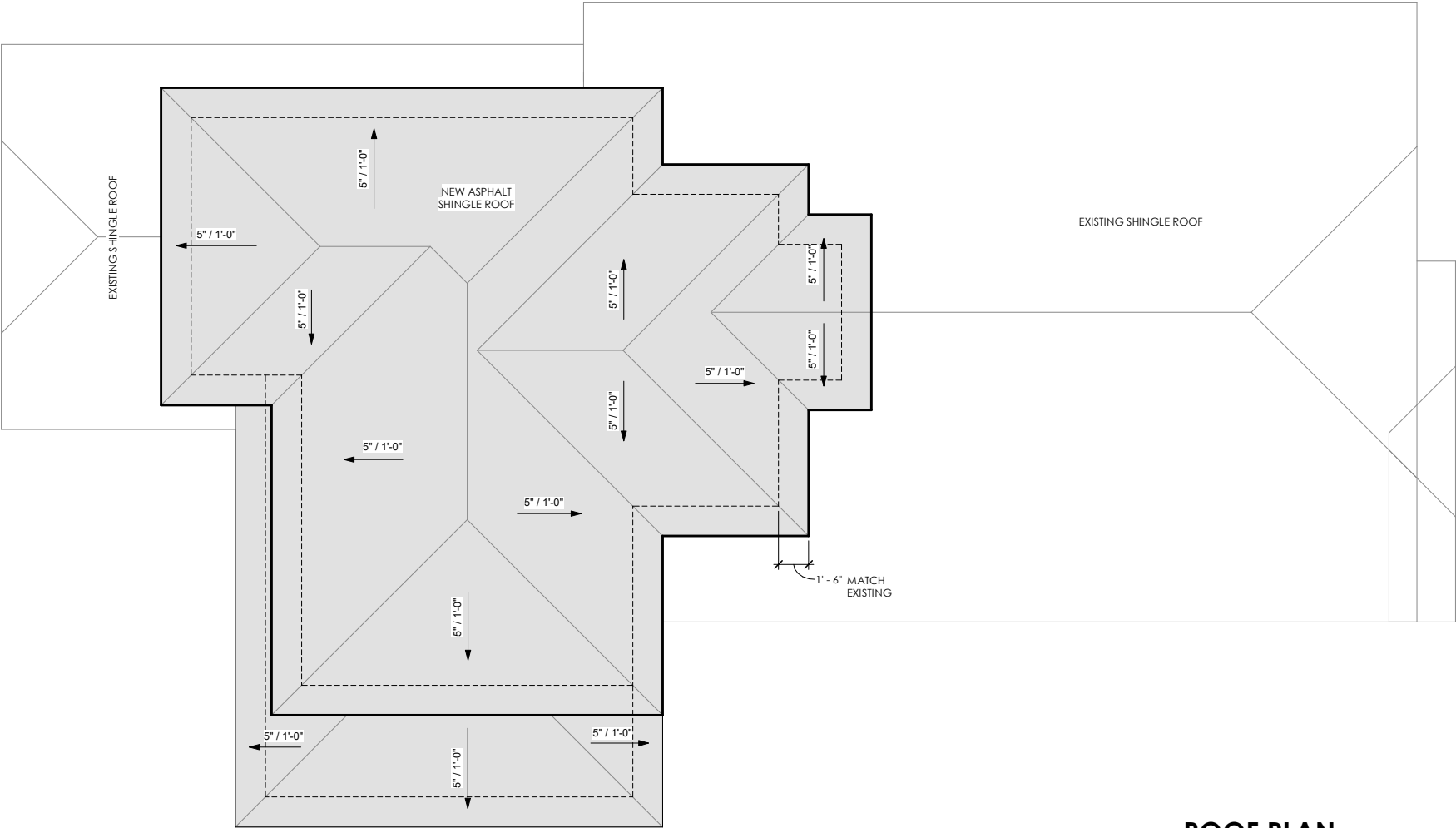
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## A1.3 DEMOLITION ELEVATIONS

OF 8



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1 ROOF PLAN  
1/4" = 1'-0"

**ROOF LEGEND**

EXISTING ROOF TO REMAIN

NEW ROOF

OUTLINE OF WALLS BELOW

LOW-SLOP ROOF DRAINS WITH DRAINAGE ARROWS

○ D.S.

DOWNSPOUT

**ROOF PLAN NOTES**

- VENT ALL MECH/ PLUMBING FIXTURES
- ALL VENTS THROUGH THE ROOF (VTR) TO BE PAINTED TO MATCH ROOF COLOR
- PROVIDE R-38 INSULATION BETWEEN NEW ROOF AND CEILING
- FLASHING, UNDERLAYMENT AND FASTENING DETAILS PER ROOF MANUFACTURER. INSTALLER TO VERIFY WITH ARCHITECT
- 5" SEAMLESS BOX GUTTERS, CONFIRM DOWNSPOUT LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION

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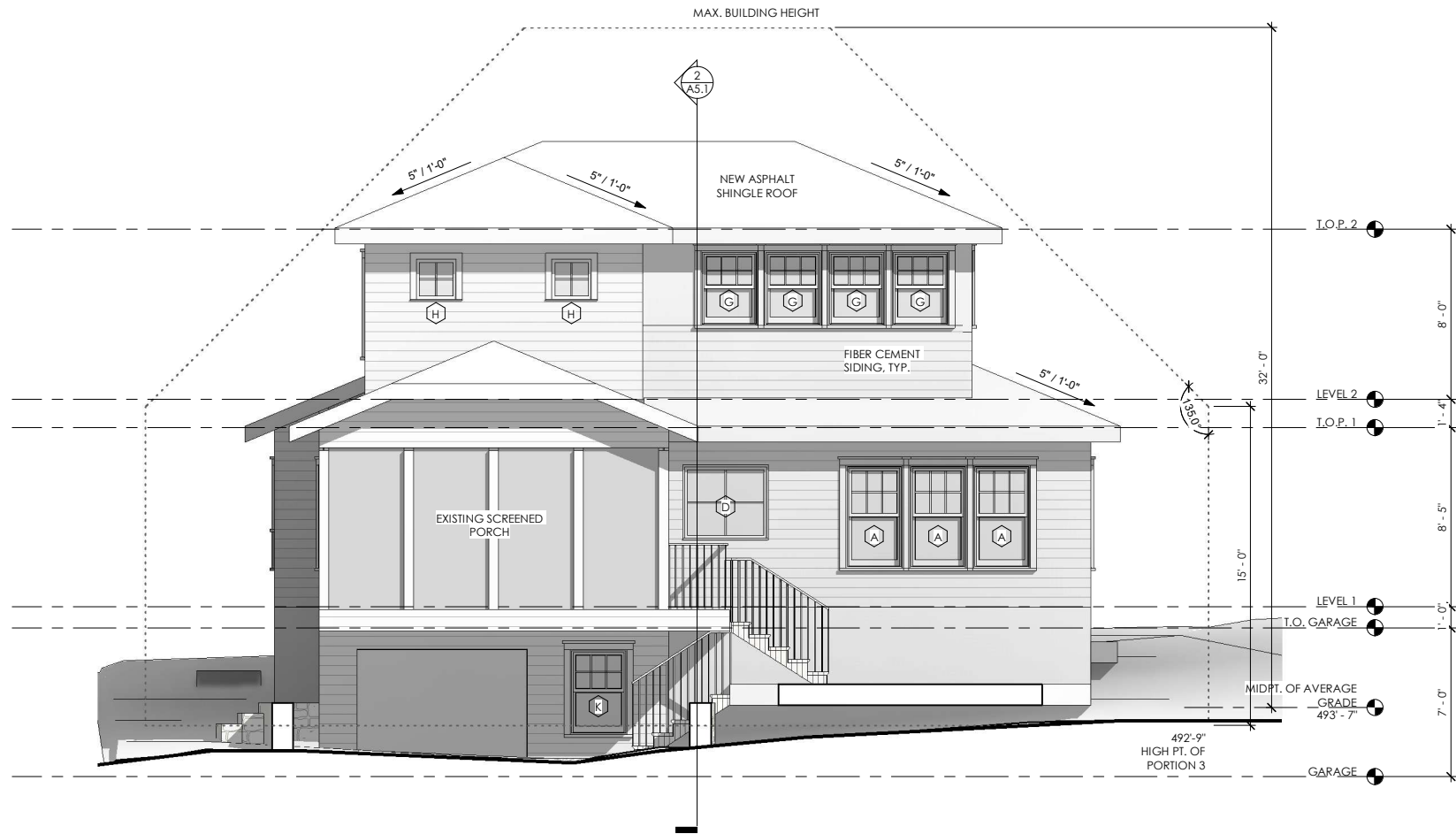
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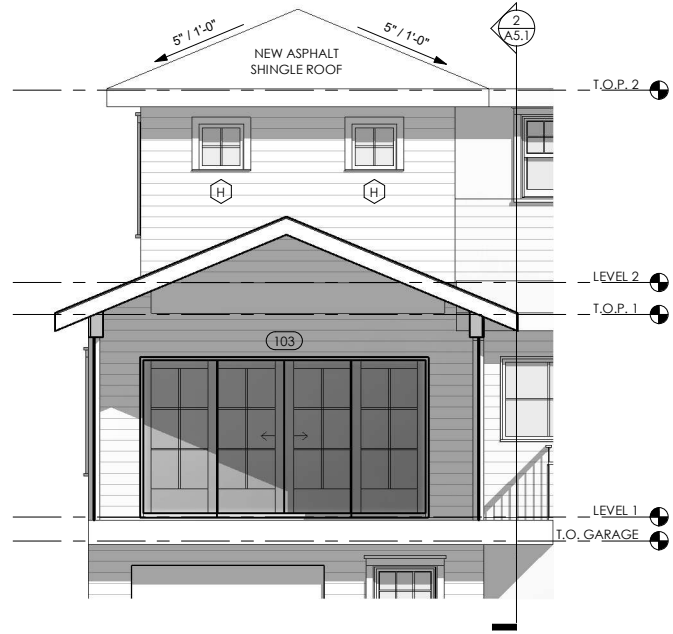
## A2.3

ROOF PLAN

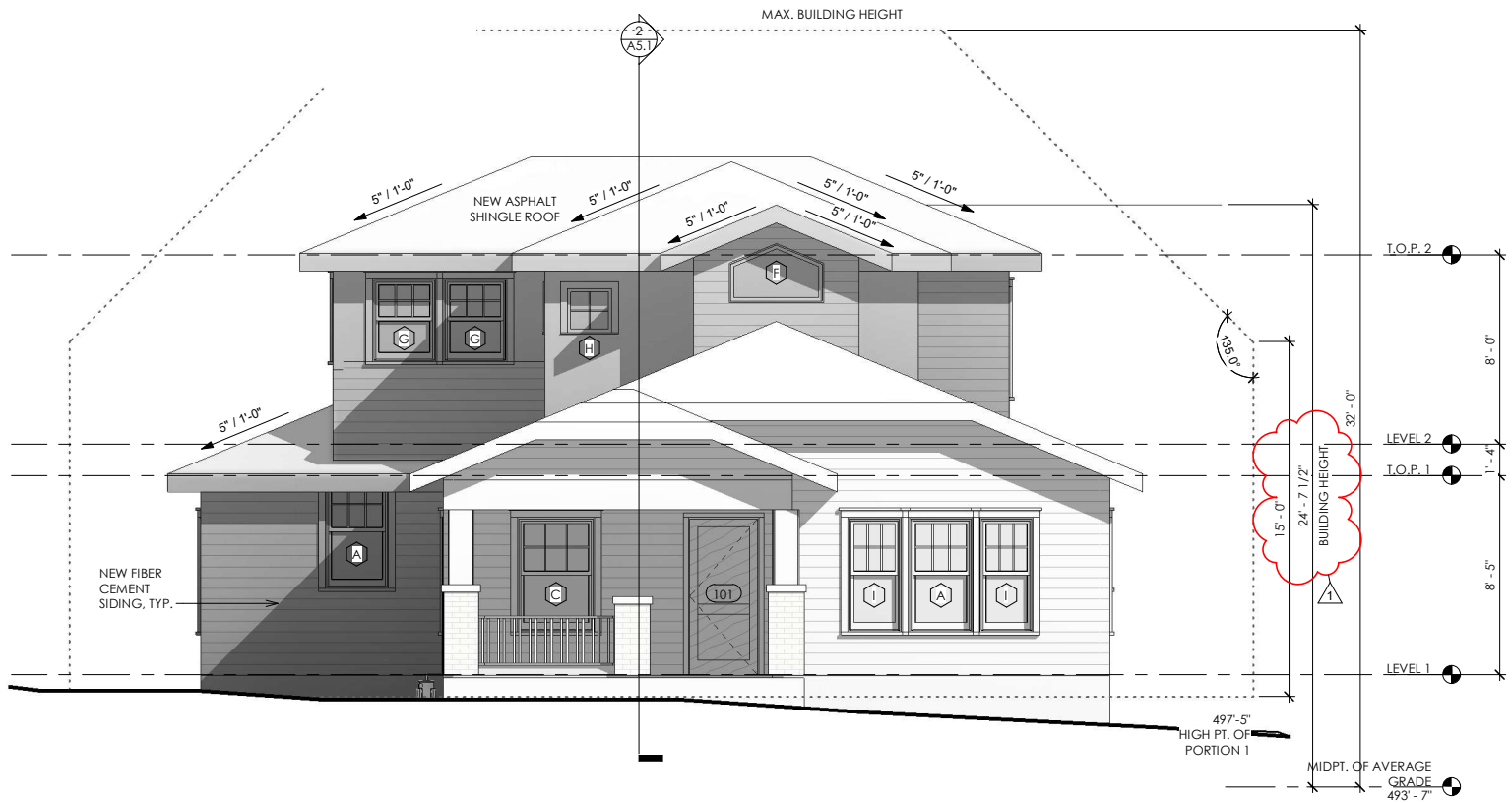
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**2 WEST ELEVATION (REAR)**  
1/4" = 1'-0"



**3 WEST PORCH ELEVATION**  
1/4" = 1'-0"



**1 EAST ELEVATION (FRONT)**  
1/4" = 1'-0"

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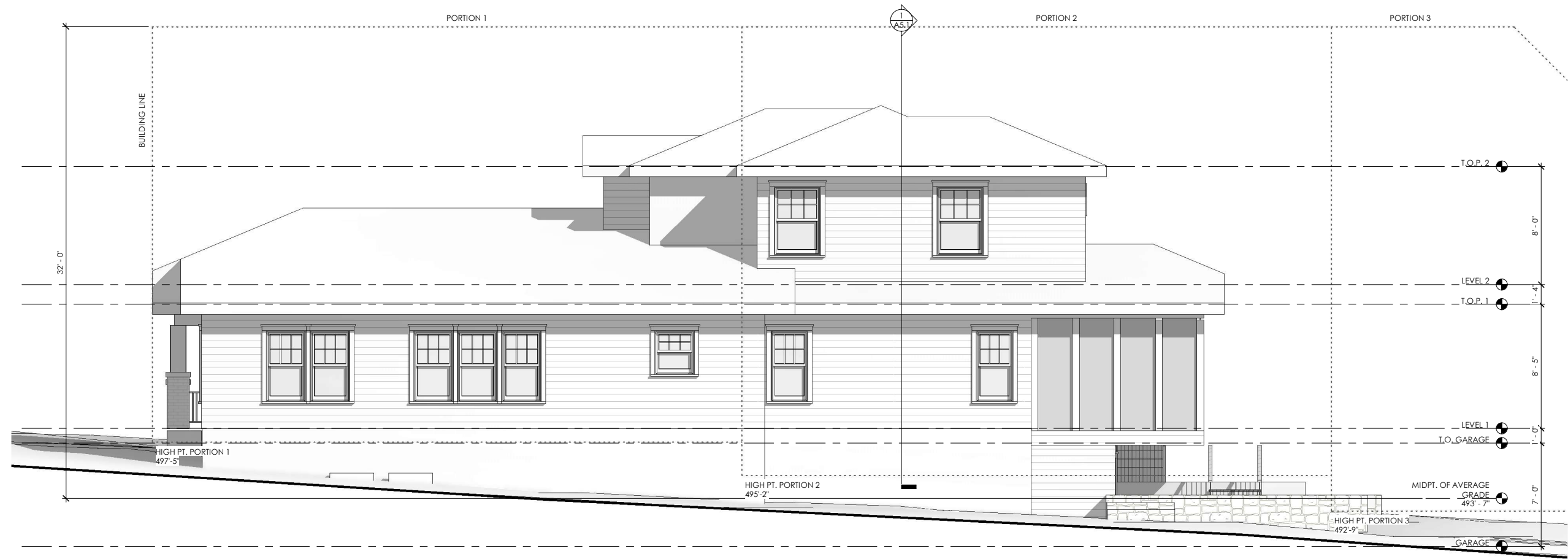
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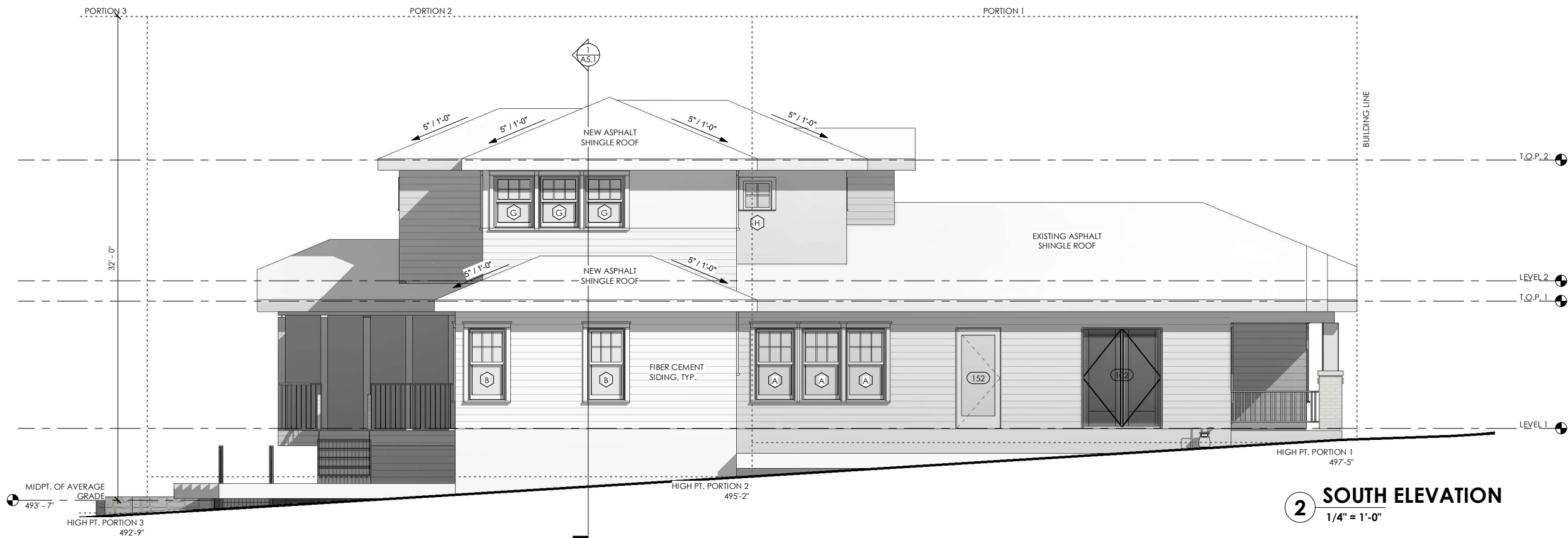
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## A4.1 EXTERIOR ELEVATIONS

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1 NORTH ELEVATION  
1/4" = 1'-0"



2 SOUTH ELEVATION  
1/4" = 1'-0"

DRAWINGS AT 50% SCALE IF PRINTED ON 11X17 PAPER



8.28.21

# HALLMARK RESIDENCE

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## A4.2 EXTERIOR ELEVATIONS



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## 1412 Alameda Drive





# CVMA

Carolyn Van Meter Architecture



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